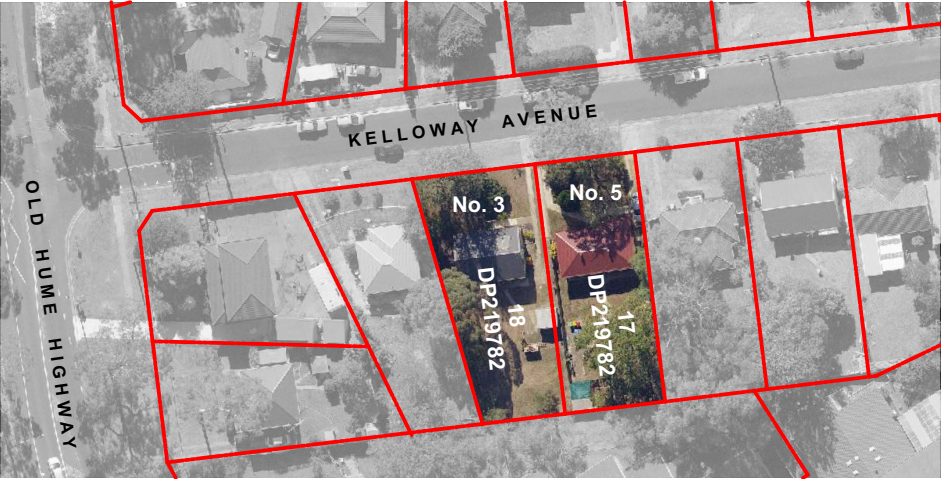


KELLOWAY AVENUE PERSPECTIVE



LOCATION PLAN (N.T.S.)



BASIX CERTIFICATION



All recommendations in the Access Report (by MGAC dated 9 Feb 2023), BCA report (by Mckenzie Group dated 9 Feb 2023), and Traffic Noise Impact Assessment (by BSE dated 6 April 2023) report are to be complied with.

CONSULTANTS LIST

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TRAFFIC ENGINEER	Cardno Level 9, 203 Pacific Highway, St Leonards 2065 P 02 9496 7700
ACCOUSTIC ENGINEER	BSE Level 2, 121 Walker Street, North Sydney 2060 P 02 9922 5200
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WASTE MANAGEMENT CONSULTANT	Dickens Solutions 1214 Botany Road, Botany, 2019 P 0400 388 996

PART 5 ACTIVITY, PROPOSED BOARDING HOUSE, BGX6L

3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY LOT 17 DP 219782, LOT 18 DP 219782,

FOR LAND & HOUSING CORPORATION (LAHC)

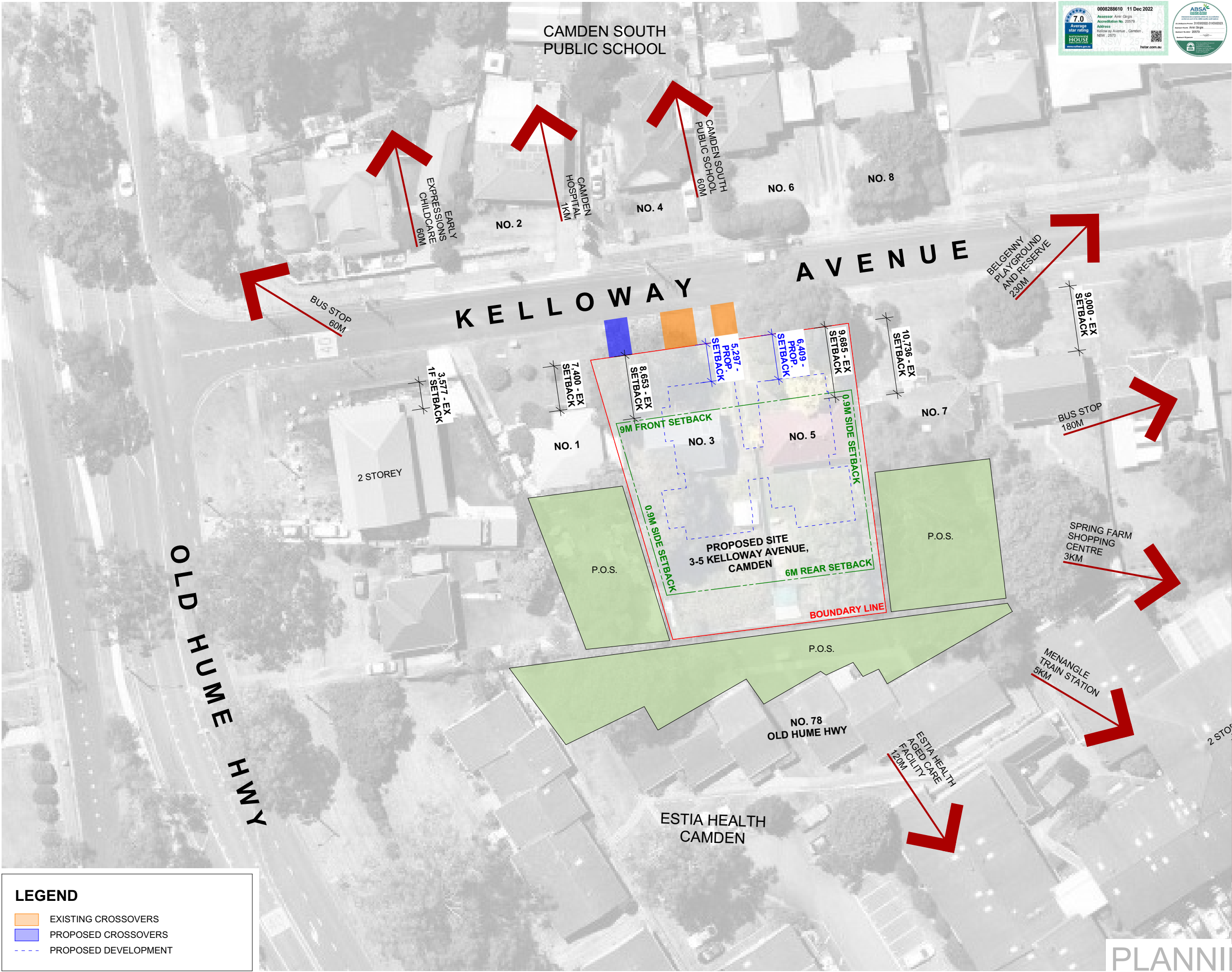
PLANNING APPROVAL: DRAWING LIST

000 COVER PAGE		
A000	COVER PAGE	N.T.S.
100 PLANS		
A101	BLOCK ANALYSIS PLAN	N.T.S.
A102	SITE ANALYSIS PLAN	1:200
A104	DEVELOPMENT DATA	N.T.S.
A105	SITE PLAN	1:200
A106	GROUND FLOOR PLAN	1:100
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A202	SOUTH ELEVATION (REAR)	1:100
A203	EAST ELEVATION	1:100
A204	WEST ELEVATION	1:100
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A400 SHADOW DIAGRAMS		
A401	SHADOW DIAGRAMS	1:500
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A403	SOLAR DIAGRAMS NORTH EAST	N.T.S.
A404	SOLAR DIAGRAMS SOUTH WEST	N.T.S.
A405	SOLAR DIAGRAMS SOUTH EAST	N.T.S.
A500 MATERIALS		
A501	MATERIAL SCHEDULE	N.T.S.
A600 PHOTOMONTAGE		
A601	PHOTOMONTAGE	N.T.S.

Please refer to Page 2 for BASIX pathway summary

PLANNING APPROVAL

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1. BASIX / NatHERS Preliminary Pathway The following summary is the Final review for the BASIX / NatHERS pathway based on the documents provided for architectural and building services design (Part 5 Submission Rev-01) on 08.12.2022 by Sam Crawford Architects. The project is targeting <u>7-Star NatHERS rating</u> and the following considerations have been done accordingly.																											
1.1 Water Efficiency Water score required: 40% Current score: 40%	<ul style="list-style-type: none">Common Facilities:<ul style="list-style-type: none">2000L RW Tank to collect rainwater from at least 380m² of roof space to supply irrigation to at least 420m² of common landscape and 20m² of private landscape and provide recycled water to Toilets in dwellings.Kitchen Taps & Bathroom Taps: 5-star WELS rated in Communal Indoor AreaDwellings:<ul style="list-style-type: none">Showerheads: 4-star WELS rated (>4.5 but <=6 L/min)Kitchen Taps & Bathroom Taps: 5-star WELS ratedToilets: 4-star WELS ratedClothes Washers: not specifiedDishwashers: not specifiedNo on-demand HW reticulation or diversion																										
1.2 Energy Efficiency Energy score required: 45% Current score: 45%	<ul style="list-style-type: none">Common Facilities:<ul style="list-style-type: none">Central Solar PV system: 3.0 kW peakNo Central hot water systemsNo Central heating / Cooling systemsNo common area clothes dryers or drying lines.No mechanical ventilation for common lobby on Ground and First Floor, Communal Room and Garbage roomsLED lights with manual switch on/off for Common Lobby on Ground and First Floor, Communal Room and Garbage rooms.Dwellings:<ul style="list-style-type: none">5-Star Gas Instantaneous Hot Water System for individual dwellingsNo Mechanical ventilation (i.e. natural ventilation) for bathroom for all unitsIndividual fan ducted to roof or facade exhausts for laundry, and kitchen for all units.All Bathroom, Laundry, Kitchen exhausts are controlled by manual switch on/off.No individual Cooling systemsNo individual Heating systemsDedicated fluorescent or LED fittings for all internal rooms.Electric cooktop and electric oven.Dishwasher: not specifiedClothes Washer: not specifiedRefrigerator and Clothes Dryer not specified.Well Ventilated Fridge Space (as per plans).Private Outdoor Clothing line for Units 1-6Indoor or sheltered clothes drying line (e.g. screened line on balcony or line over bath) for Units 7-12.																										
1.3 Thermal Comfort Score required: Pass Current score: Pass	<table><tr><td>External Walls</td><td>Ground Floor: Double Brick Cavity, R1.0 bulk insulation, plasterboard (as per elevations) – for units and lobbies First Floor: Double Brick Cavity, R1.0 bulk insulation, plasterboard (as per elevations) – for units and lobbies</td></tr><tr><td>External Wall Solar absorbance</td><td>0.85 (R1-01 – Black and Tan Brick) – Units External Walls 0.50 (R1-02 – Botanicals Juniper) – Lobby External Walls</td></tr><tr><td>Internal Partitions</td><td>Lightweight Construction – Plasterboard Stud Cavity Wall, No Insulation</td></tr><tr><td>Party Walls – walls to risers, shafts, neighbors</td><td>Ground, First Floor: Double Brick Cavity, no insulation, plasterboard</td></tr><tr><td>Walls to naturally ventilated corridors</td><td>Ground, First Floor: Double Brick Cavity, no insulation, plasterboard</td></tr><tr><td>Ceiling to Roof (ceiling to balcony)</td><td>Plasterboard, R4.0 bulk insulation</td></tr><tr><td>Roof construction</td><td>Corrugated iron, No insulation, Skillion roof</td></tr><tr><td>Roof Solar absorbance</td><td>Solar Absorbance – 0.3 (light grey)</td></tr><tr><td>Floor construction</td><td>Concrete Slab</td></tr><tr><td>Floor coverings</td><td>Ceramic / Cork Tiles in units Ceramic Tiles in Toilets</td></tr><tr><td>Window system performance</td><td>Awnings, Casement - U-Value of 4.8 and SHGC of 0.51 Breezeway Louvered Glazing - U-Value of 4.3 and SHGC of 0.61 Sliding, Fixed, - U-Value of 4.5 and SHGC of 0.61 • Window operability according to the plans. • Single Pane Awning, Casement windows on the ground floor have been modeled to 90% openness. • Glazed sliding doors and Double Hung windows on the ground floor have been modeled to 90% openness • All Louvered Windows have been modeled to 90% openness • Operable windows above 2m off the ground and not next to balconies or winter garden have been modeled to have a 10% openness in the models.</td></tr><tr><td>Window operability</td><td></td></tr><tr><td>Ceiling Penetrations</td><td>Surface mounted LED lights. Weather seals for all exhausts and vents have been assumed in all models.</td></tr></table>	External Walls	Ground Floor: Double Brick Cavity, R1.0 bulk insulation, plasterboard (as per elevations) – for units and lobbies First Floor: Double Brick Cavity, R1.0 bulk insulation, plasterboard (as per elevations) – for units and lobbies	External Wall Solar absorbance	0.85 (R1-01 – Black and Tan Brick) – Units External Walls 0.50 (R1-02 – Botanicals Juniper) – Lobby External Walls	Internal Partitions	Lightweight Construction – Plasterboard Stud Cavity Wall, No Insulation	Party Walls – walls to risers, shafts, neighbors	Ground, First Floor: Double Brick Cavity, no insulation, plasterboard	Walls to naturally ventilated corridors	Ground, First Floor: Double Brick Cavity, no insulation, plasterboard	Ceiling to Roof (ceiling to balcony)	Plasterboard, R4.0 bulk insulation	Roof construction	Corrugated iron, No insulation, Skillion roof	Roof Solar absorbance	Solar Absorbance – 0.3 (light grey)	Floor construction	Concrete Slab	Floor coverings	Ceramic / Cork Tiles in units Ceramic Tiles in Toilets	Window system performance	Awnings, Casement - U-Value of 4.8 and SHGC of 0.51 Breezeway Louvered Glazing - U-Value of 4.3 and SHGC of 0.61 Sliding, Fixed, - U-Value of 4.5 and SHGC of 0.61 • Window operability according to the plans. • Single Pane Awning, Casement windows on the ground floor have been modeled to 90% openness. • Glazed sliding doors and Double Hung windows on the ground floor have been modeled to 90% openness • All Louvered Windows have been modeled to 90% openness • Operable windows above 2m off the ground and not next to balconies or winter garden have been modeled to have a 10% openness in the models.	Window operability		Ceiling Penetrations	Surface mounted LED lights. Weather seals for all exhausts and vents have been assumed in all models.
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LEGEND

- EXISTING CROSSOVERS
- PROPOSED CROSSOVERS
- PROPOSED DEVELOPMENT

LOCKED BAG 5022
PARRAMATTAN NSW 2124
PHONE: 1800 738 718
WEBSITE: <https://www.dpie.nsw.gov.au/land-and-housing-corporation>

DESCRIPTION
Part 5 submission

REV	APP'D	DATE
01	SC	8/12/2022

samcrawfordarchitects
Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042
TELEPHONE +612 9519 6800
EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au
ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782



SCALE @ A3
1:500

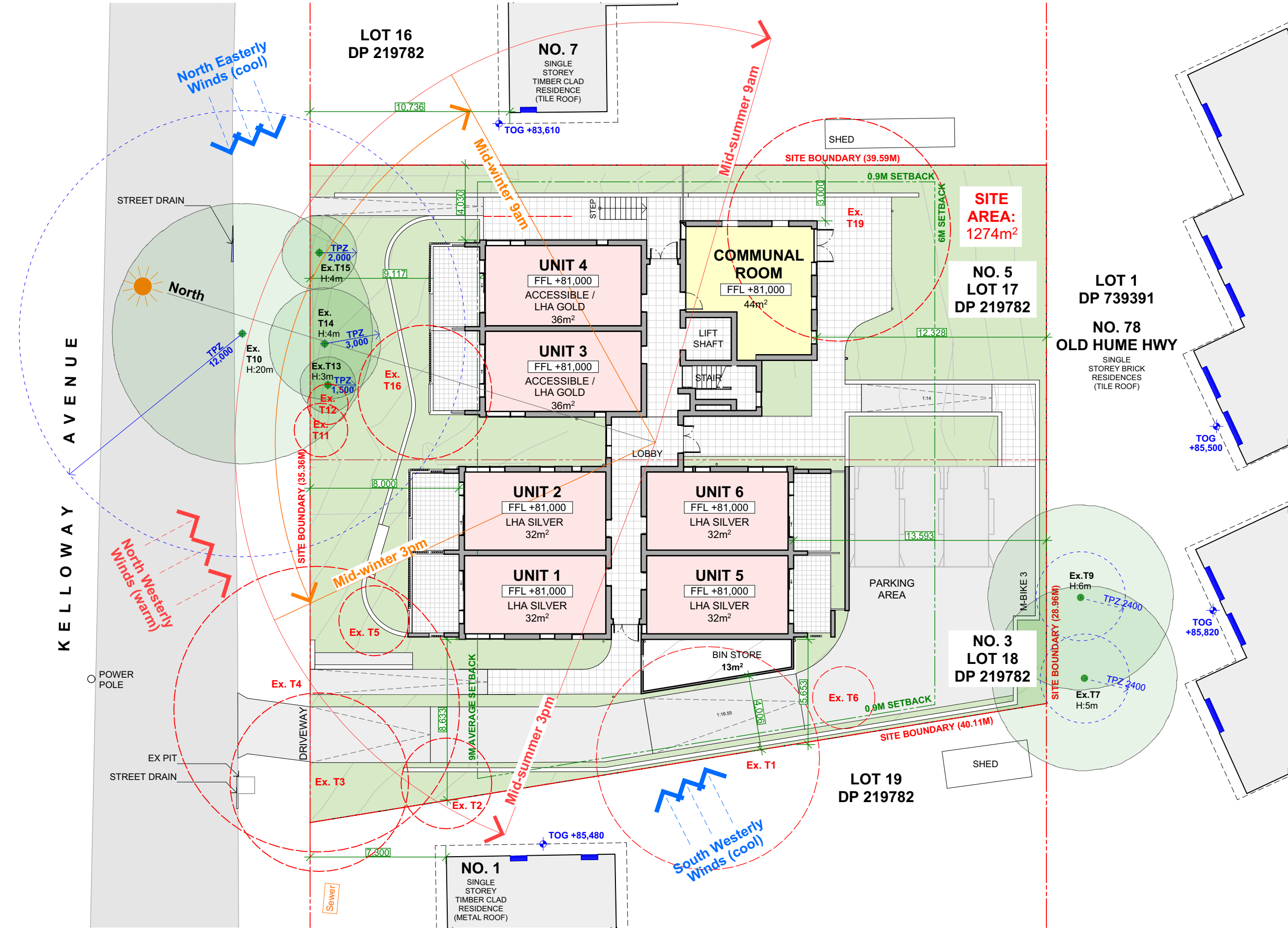
PROJECT NO.
BGX6L

STAGE
AA

DRAWING NO.
A101

REV
01

DRAWING TITLE
BLOCK ANALYSIS PLAN




KEY + LEGEND

- AC AIR CONDITIONER UNIT
- BAL BALUSTRADE
- BK BRICK
- BR BROOM CUPBOARD
- CL CLOTHESLINE
- DP DOWNPIPE
- EG EAVES GUTTER
- F FRIDGE
- FC FIBRE CEMENT CLADDING
- FFL FINISHED FLOOR LEVEL
- FIP FIRE INDICATOR PANEL
- FN FENCING
- GD GRATED DRAIN
- GM GAS METER
- HWU HOT WATER UNIT
- LY LAUNDRY
- LI LINEN CUPBOARD
- MS MESH SCREENING
- MSB MAIN SWITCH BOARD
- NBN NBN CUPBOARD
- NGL NATURAL GROUND LEVEL
- O OVEN
- OSD ON SITE DETENTION
- P PANTRY
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- TOW TOP OF WALL
- R ROBE
- RL REDUCED LEVEL
- RF ROOFING
- RW RETAINING WALL
- RWT RAIN WATER TANK
- SWP STORM WATER PIT
- WM WATER METER

- BOUNDARY
- SETBACKS
- DEMOLITION

PLANNING APPROVAL



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE: 1800 738 718
WEBSITE: <https://www.dpie.nsw.gov.au/land-and-housing-corporation>

DESCRIPTION	REV	APP'D	DATE
Part 5 submission	01	SC	08-Dec-22

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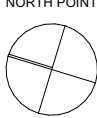
Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042
TELEPHONE +612 9519 6800
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ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT



SCALE @ A3
1:200

PROJECT NO.
BGX6L

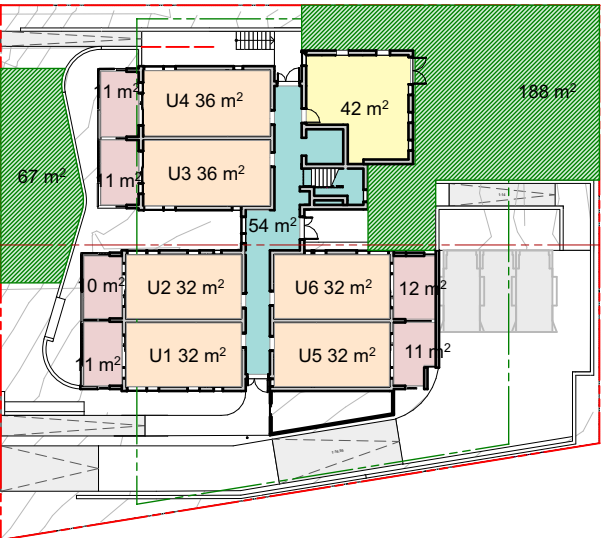
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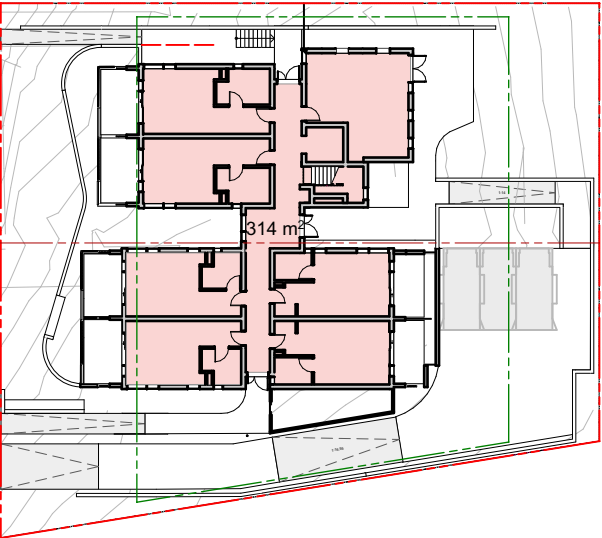
REV
01

DRAWING TITLE
SITE ANALYSIS PLAN

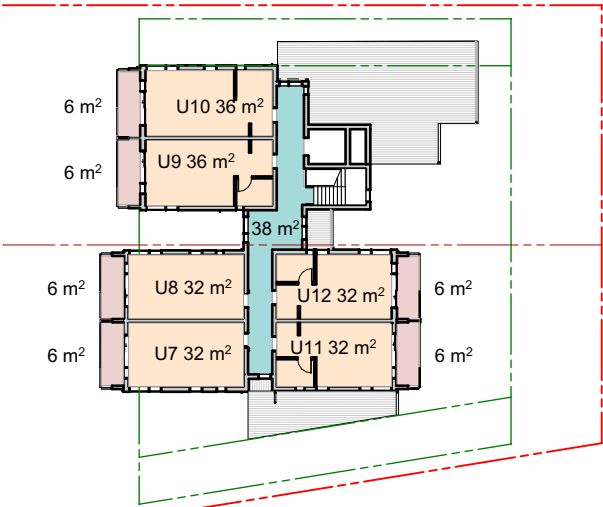
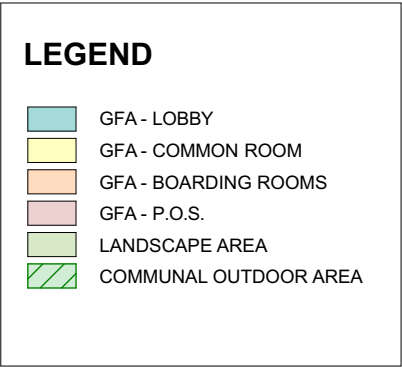
DEVELOPMENT DATA BOARDING HOUSE PART 5 APPROVAL PATHWAY – SH SEPP s.29							
Job Reference	BGX6L						
Locality / Suburb	Camden						
Street Address	3-5 Kelloway Avenue						
Lot Number(s) & Deposited Plan	Lots 17 & 18 in DP 219782						
SITE AREA (sqm)	1274 (survey)						
NUMBER OF EXISTING LOTS	2						
PROPOSED GFA* (sqm)	567sqm						
ACCESSIBLE AREA	Yes						
ROOMS	Number	Type*	No of Residents <i>Housing SEPP Cl. 25(1)(b) = Max. 2</i>	Area*(m ²)		POS	
				Required room size (excl. wet areas) <i>Housing SEPP Cl. 25(1)(a) & (b) = Min 12m²/16m² – Max 25m² excl. area for kitchen or bathroom</i>	Total Area (incl. kitchen & bathroom areas)	<i>*No specified min. areas r'qd under Housing SEPP</i>	
	1	ground	1	20	32	8	11
	2	ground	1	20	32	8	10
	3 (Accessible)	ground	1	23	36	8	11
	4 (Accessible)	ground	1	23	36	8	11
	5	ground	1	20	32	8	11
	6	ground	1	20	32	8	12
	7	1st	1	20	32	8	6
	8	1st	1	20	32	8	6
	9	1st	1	24	36	8	6
	10	1st	1	24	36	8	6
	11	1st	1	20	32	8	6
	12	1st	1	20	32	8	6
		Control		Requirement		Proposed	
BUILDING HEIGHT	Housing SEPP		9m		8.8 m		
	Camden LEP		9.5m		8.8m		
FSR	Housing SEPP Cl. 24(2)(b) – Camden LEP/DCP		Not adopted no maximum under LEP or DCP		567 GFA 0.45:1		
MIN. LOT SIZE	Housing SEPP Cl. 25(1)(g)(i)		600m ²		1274 m ² (survey)		
MAX. NO. ROOMS	Housing SEPP Cl. 25(1)(d)		Max. 12 rooms in R2 zone		12 rooms		
CAR PARKING	Housing SEPP Cl. 24(2)(i) <i>*DCP rate for BH is as per ARH SEPP</i>	Accessible	12 x 0.2 = (2.4) 3 car spaces		3 spaces		
MOTORCYCLE PARKING	Housing SEPP Cl. 25(1)(j)		Adequate bicycle and motorcycle parking spaces		1 Motorcycle space		
BICYCLE PARKING	Housing SEPP Cl. 25(1)(j)		Adequate bicycle and motorcycle parking spaces		4 Bicycle spaces		
MIN. SETBACKS	Housing SEPP Cl. 25(2)(b) = Camden DCP 2019 Part 4.6 MDH Table 4-7	Front Setback	4.5m Or in established areas avg. of 2 closest dwellings adjoining site <i>*site analysis will be required to demonstrate.</i>		9.0m average Western Block: 8m Eastern Block: 9.1m		
		Side Setback	Ground floor: 0.9m Upper floor: 4m		4m Eastern Bdy 5.5m Western Bdy		
		Rear Setback	Ground floor: 4m Upper floor: 6m		13.5m (ground) 12m (1st floor)		
COMMUNAL LIVING AREA	Housing SEPP Cl. 25(1)(f) Housing SEPP Cl. 24(2)(g)		1 Communal living area required Min. 30m ² + 12m ² per room in excess of 6 rooms Based on 12 rooms= 30m ² + 12m ² = total 42m ² Min. dimension 3m		42m ² Min. dimension of CLA is 3m – Complies		
COMMUNAL OPEN SPACE	Housing SEPP Cl. 24(2)(h)		Min. 20% of site area 20% x 1274 = 254.8m ² Min. dimension = 3m		255m2 Min. dimension of COS is 3m – Complies		
LANDSCAPED AREA	Housing SEPP Cl. 24(2)(c) – Camden DCP Parts 4.2.6 & 4.6		Min 30% of site 30% x 1274m ² = 382.2m ² Min dimension of landscaped area = 1.5m Min. 40% of front setback to be landscaped 40% x front setback area m ² = 124m ²		388 m ² Min dimension = 1.5m 189 m ²		
DEEP SOIL	Housing SEPP Cl. 24(2)(c) – Camden DCP Part 4.6		No specified minimum		388 m ²		
SOLAR ACCESS	Housing SEPP Cl. 24(2)(e)		3 hours between 9am & 3pm 21 June to at least 1 communal living area		Complies CLA receives 3 hours direct solar access – Complies		
	No specific solar access r'qmt to rooms under Housing SEPP		Min. 70% of living rooms & private opens spaces receive a min 3hrs direct sunlight between 9am-3pm mid-winter		8/12 units comply		



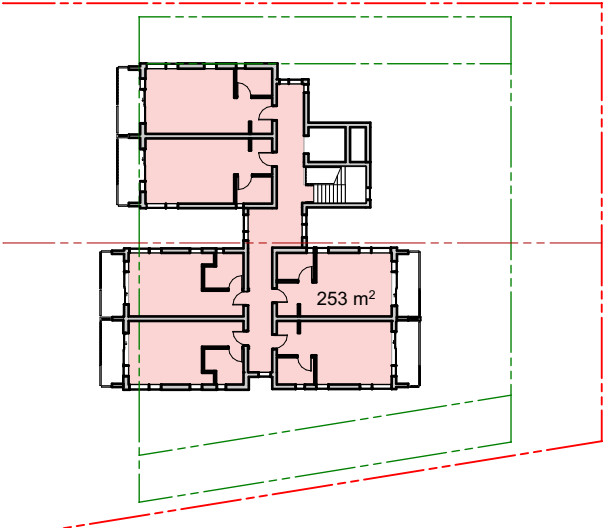
GROUND FLOOR PLAN



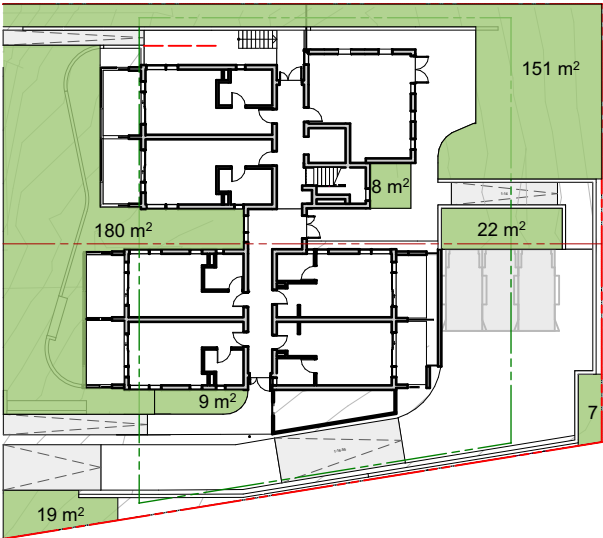
GROUND FLOOR PLAN



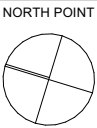
FIRST FLOOR PLAN



FIRST FLOOR PLAN






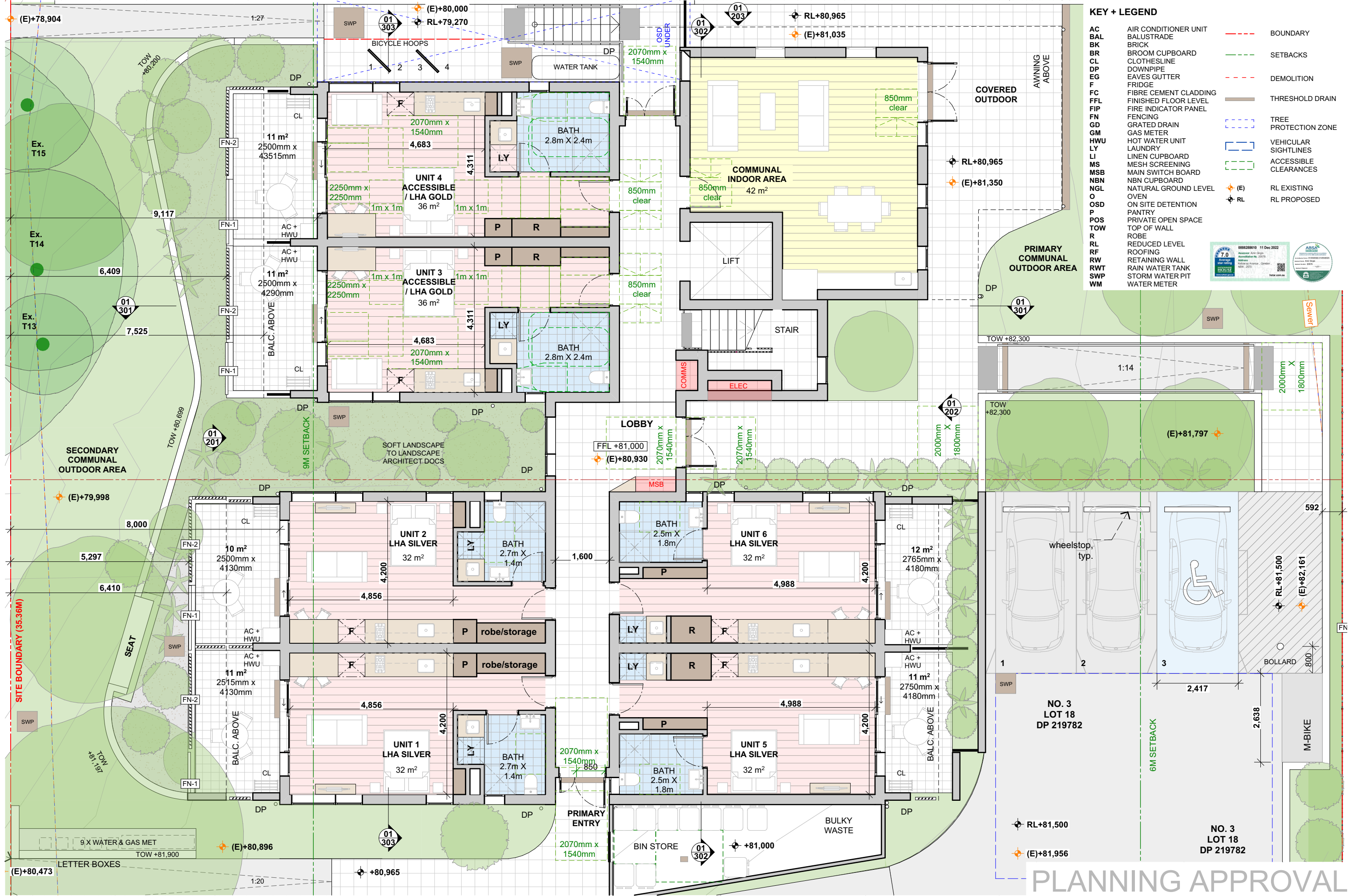
PLANNING APPROVAL



KEY + LEGEND

AC	AIR CONDITIONER UNIT
BAL	BALUSTRADE
BK	BRICK
BR	BROOM CUPBOARD
CL	CLOTHESLINE
DP	DOWNPIPE
EG	EAVES GUTTER
F	FRIDGE
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GD	GRATED DRAIN
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O	OVEN
OSD	ON SITE DETENTION
P	PANTRY
POS	PRIVATE OPEN SPACE
TOW	TOP OF WALL
R	ROBE
RL	REDUCED LEVEL
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RW	RETAINING WALL
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SWP	STORM WATER PIT
WM	WATER METER

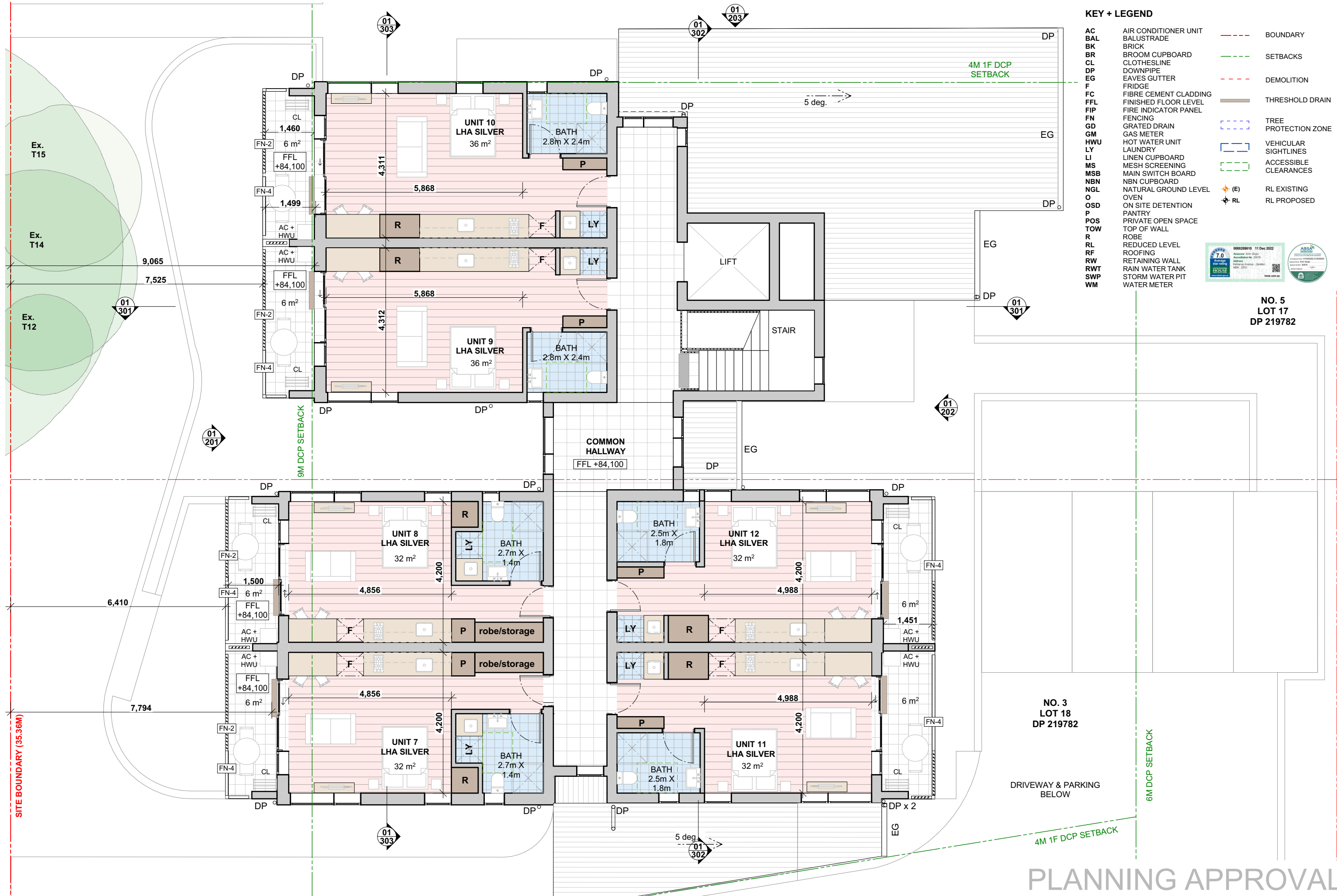
	BOUNDARY
	SETBACKS
	DEMOLITION



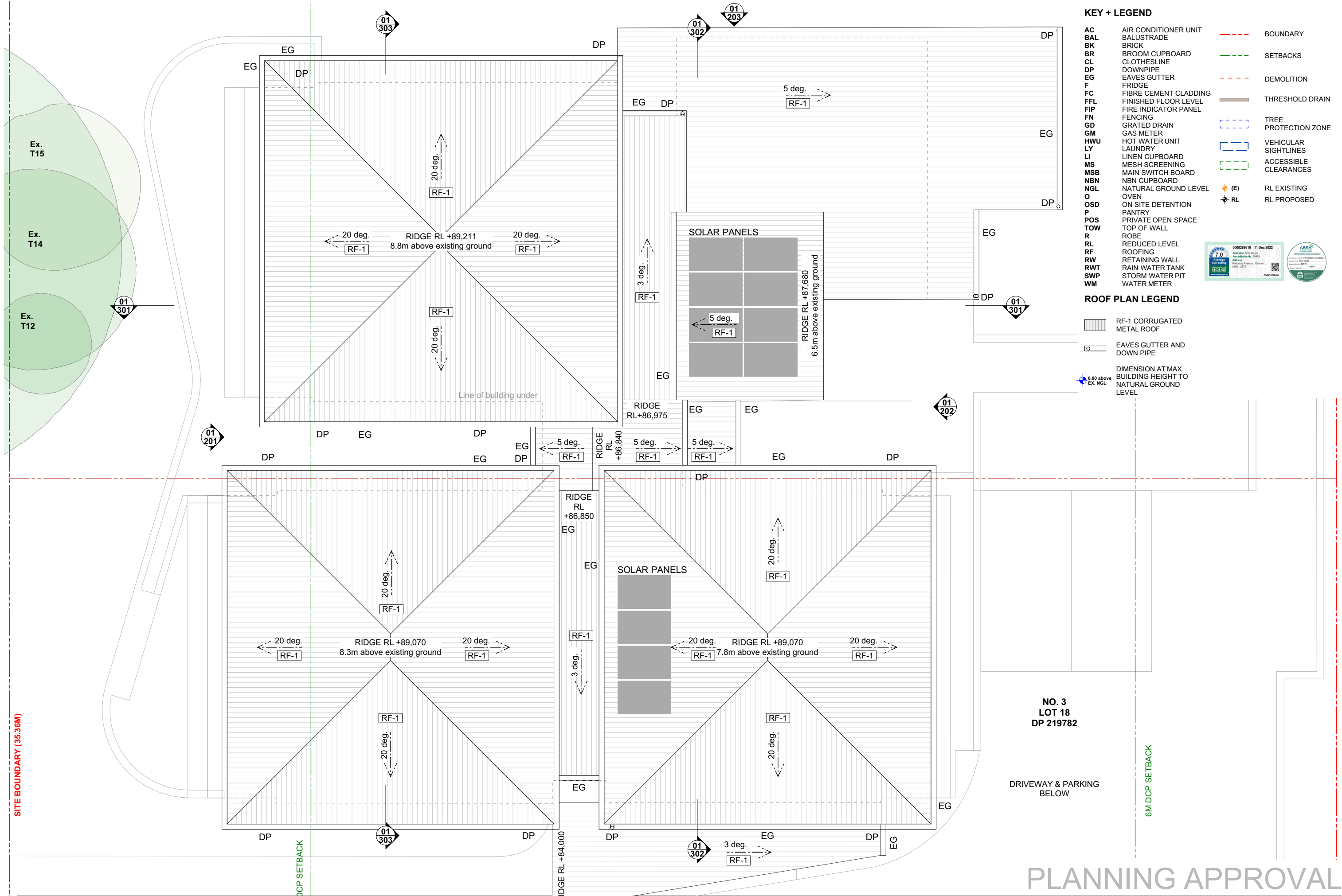
KEY + LEGEND		
AC	AIR CONDITIONER UNIT	---
BAL	BALUSTRADE	---
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GM	GAS METER	---
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LY	LAUNDRY	---
LI	LINEN CUPBOARD	---
MS	MESH SCREENING	---
MSB	MAIN SWITCH BOARD	---
NBN	NBN CUPBOARD	---
NGL	NATURAL GROUND LEVEL	---
O	ON SITE DETENTION	---
OSD	PANTRY	---
P	PRIVATE OPEN SPACE	---
POS	TOP OF WALL	---
R	ROBE	---
RL	REDUCED LEVEL	---
RF	ROOFING	---
RW	RETAINING WALL	---
RWT	RAIN WATER TANK	---
SWP	STORM WATER PIT	---
WM	WATER METER	---
---	BOUNDARY	---
---	SETBACKS	---
---	DEMOLITION	---
---	THRESHOLD DRAIN	---
---	TREE PROTECTION ZONE	---
---	VEHICULAR SIGHTLINES	---
---	ACCESSIBLE CLEARANCES	---
(E)	RL EXISTING	---
RL	RL PROPOSED	---

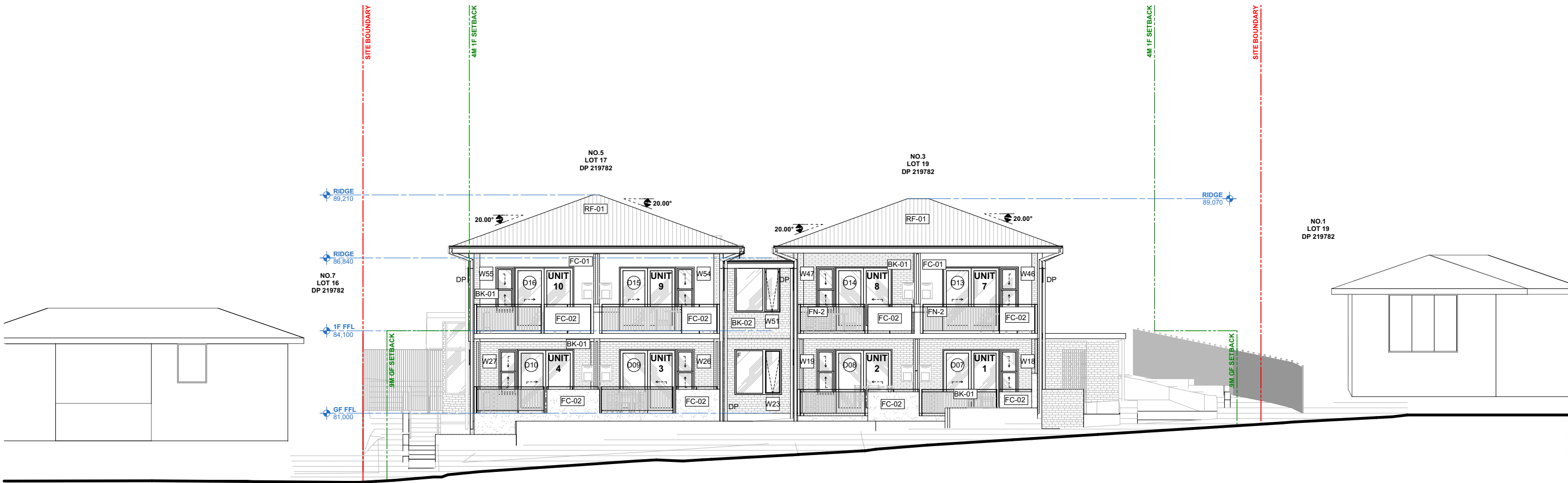
PLANNING APPROVAL

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EXTERNAL FINISHES

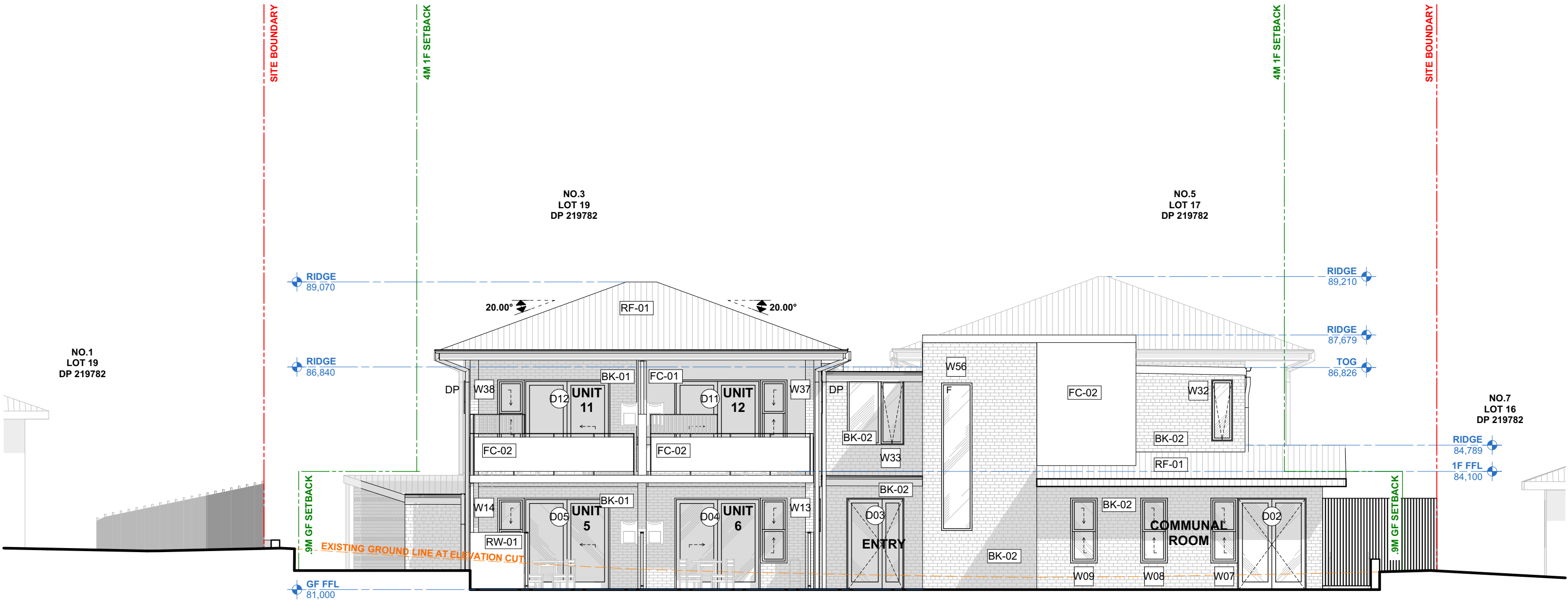
- BAL-01** **BALUSTRADE**
METAL BALUSTRADE IN SHALE GREY
- BK-01** **WALLS**
BRICK - PGH BRICKS
SMOOTH BLACK & TAN
- BK-02** **WALLS**
BRICK - PGH BRICKS
BOTANICALS JUNIPER
- FC-01** **WALLS**
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133

- FC-02** **SCREEN**
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01
- RF-01** **ROOF**
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY
- RW-01** **WALLS**
RENDERED RETAINING WALLS



PLANNING APPROVAL

 LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/land-and-housing-corporation	DESCRIPTION	REV	APP'D	DATE	 Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498	CLIENT LAND & HOUSING CORPORATION (LAHC) PROJECT CAMDEN BOARDING HOUSE 3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY	NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	Part 5 submission	01	SC	8/12/2022				1:150	BGX6L	AA	A201	01
	DRAWING TITLE											
	NORTH ELEVATION (STREET)											



EXTERNAL FINISHES

- BAL-01

BALUSTRADE
METAL BALUSTRADE IN SHALE GREY
- BK-01

WALLS
BRICK - PGH BRICKS
SMOOTH BLACK & TAN
- BK-02

WALLS
BRICK - PGH BRICKS
BOTANICALS JUNIPER
- FC-01

WALLS
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133
- FC-02

SCREEN
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01
- RF-01

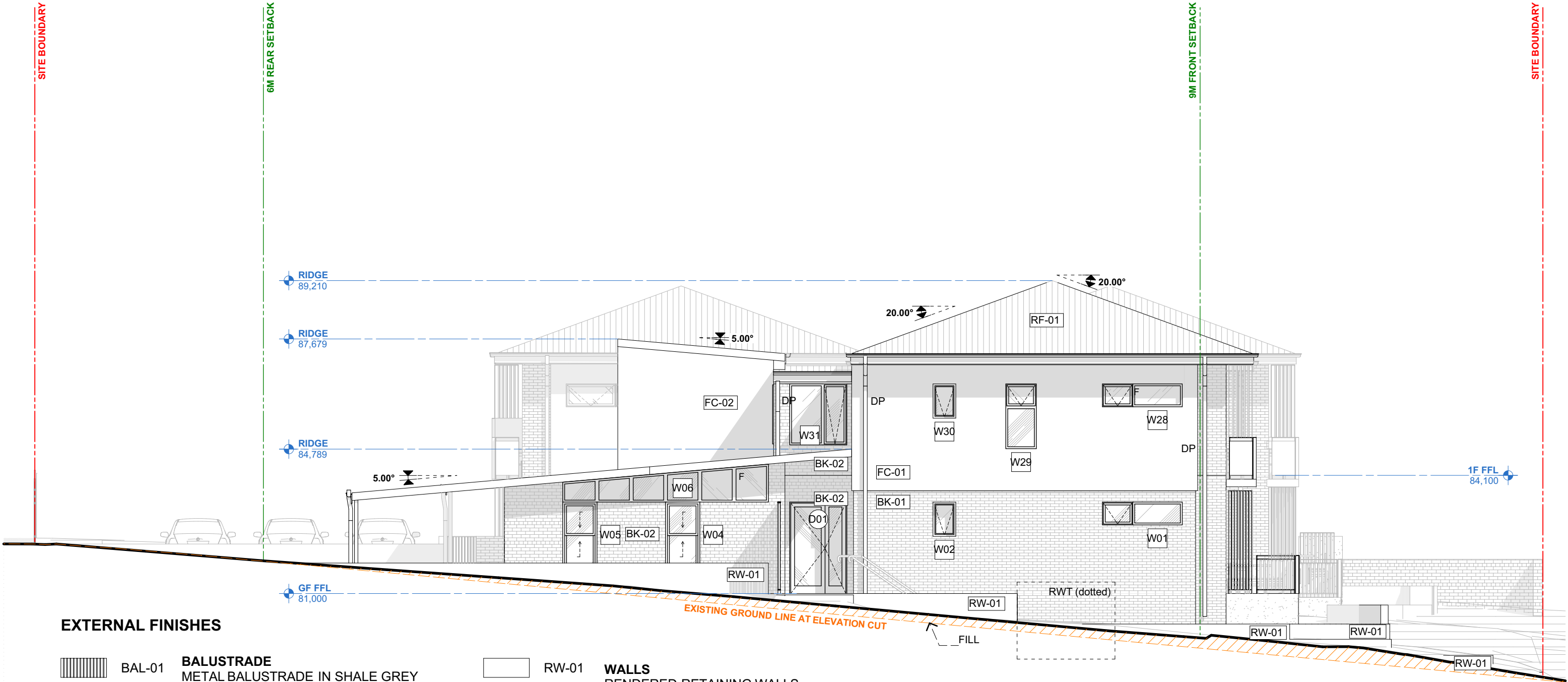
ROOF
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY
- RW-01

WALLS
RENDERED RETAINING WALLS



PLANNING APPROVAL

 <div>LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/ land-and-housing-corporation</div>	DESCRIPTION	REV	APP'D	DATE	 <div>Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498</div>	CLIENT	NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	Part 5 submission	01	SC	8/12/2022		LAND & HOUSING CORPORATION (LAHC)		1:100	BGX6L	AA	A202	01
						PROJECT						
						CAMDEN BOARDING HOUSE						
						3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY						
DRAWING TITLE												
SOUTH ELEVATION (REAR)												



EXTERNAL FINISHES

BAL-01 **BALUSTRADE**
METAL BALUSTRADE IN SHALE GREY

BK-01 **WALLS**
BRICK - PGH BRICKS
SMOOTH BLACK & TAN

BK-02 **WALLS**
BRICK - PGH BRICKS
BOTANICALS JUNIPER

FC-01 **WALLS**
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133

FC-02 **SCREEN**
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01

RF-01 **ROOF**
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY

RW-01 **WALLS**
RENDERED RETAINING WALLS

EXISTING GROUND LINE AT ELEVATION CUT

FILL

RWT (dotted)

RW-01

RW-01

RW-01

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	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/land-and-housing-corporation	DESCRIPTION Part 5 submission	REV 01	APP'D SC	DATE 8/12/2022
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ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

NORTH POINT

SCALE @ A3
1:100

PROJECT NO.
BGX6L

STAGE
AA

DRAWING NO.
A203

REV
01

DRAWING TITLE
EAST ELEVATION



PLANNING APPROVAL



EXTERNAL FINISHES

- BAL-01

BALUSTRADE
METAL BALUSTRADE IN SHALE GREY
- BK-01

WALLS
BRICK - PGH BRICKS
SMOOTH BLACK & TAN
- BK-02

WALLS
BRICK - PGH BRICKS
BOTANICALS JUNIPER
- FC-01

WALLS
FIBRE CEMENT CLADDING - JAMES HARDIE
AXON CLADDING SMOOTH 133
- FC-02

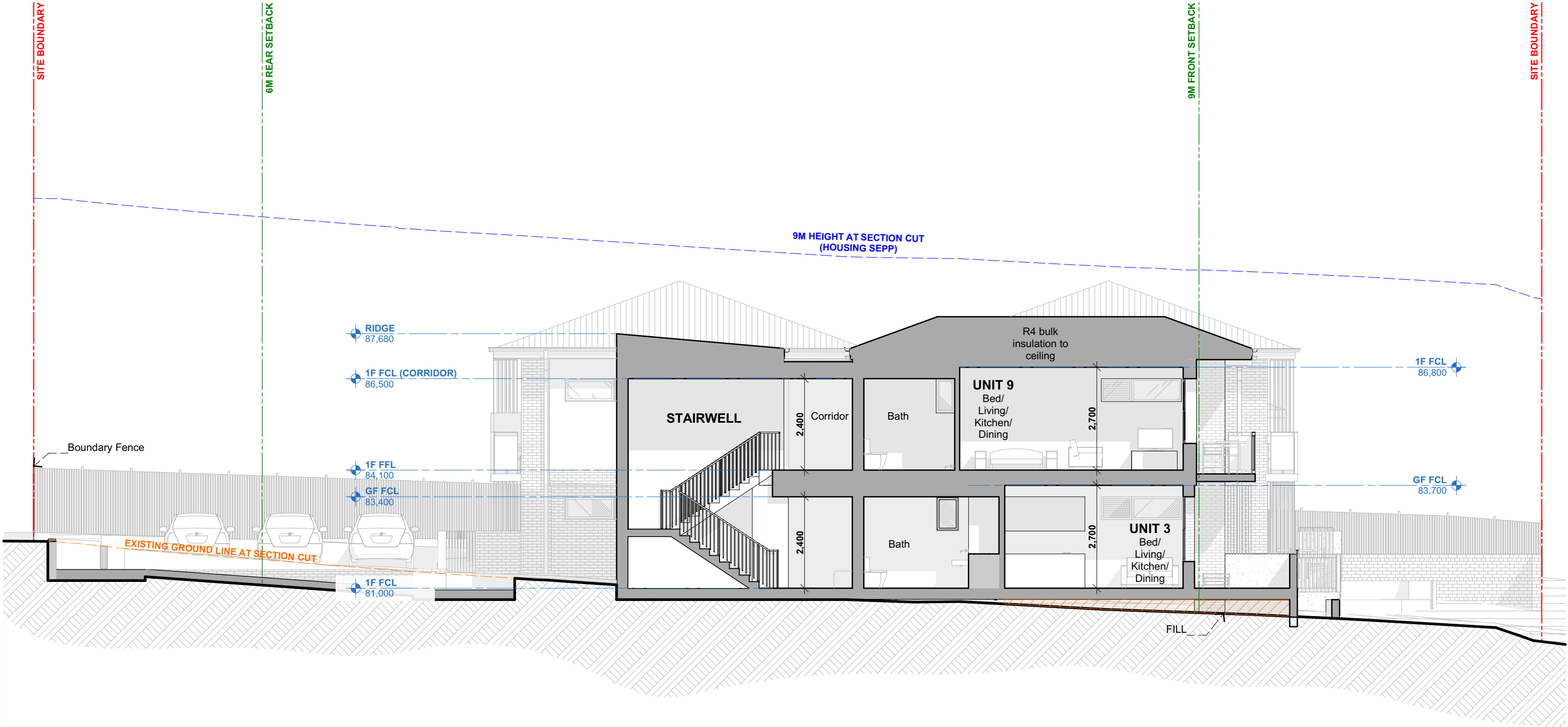
SCREEN
FIBRE CEMENT CLADDING SHEET - PAINTED
TO MATCH FC-01
- RF-01

ROOF
CORRUGATED METAL ROOF- LYSAGHT
CUSTOM ORB SHALE GREY



PLANNING APPROVAL

	LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE	 Unit 4, 30 Wilson Street, Newtown, Australia NSW 2042 TELEPHONE +612 9519 6800 EMAIL studio@samcrawfordarchitects.com.au WEB samcrawfordarchitects.com.au ACN 165 409 567 Nominated Architect Sam Crawford 6498	CLIENT	LAND & HOUSING CORPORATION (LAHC) PROJECT CAMDEN BOARDING HOUSE 3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY	NORTH POINT	SCALE @ A3	PROJECT NO.	STAGE	DRAWING NO.	REV
	PARRAMATTA NSW 2124	Part 5 submission	01	SC	8/12/2022		LOT 17/ DP 219782			1:100	BGX6L	AA	A204	01
	PHONE: 1800 738 718						LOT 18/ DP 219782							
	WEBSITE: https://www.dpie.nsw.gov.au/													
	land-and-housing-corporation													
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DRAWING TITLE WEST ELEVATION														



PLANNING APPROVAL

LOCKED BAG 5022	DESCRIPTION	REV	APP'D	DATE
PARRAMATTANSW 2124	Part 5 submission	01	SC	8/12/2022
PHONE: 1800 738 718				
WEBSITE: https://www.dpie.nsw.gov.au/land-and-housing-corporation				

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TELEPHONE +612 9519 6800
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ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

NORTH POINT

SCALE @ A3
1:100

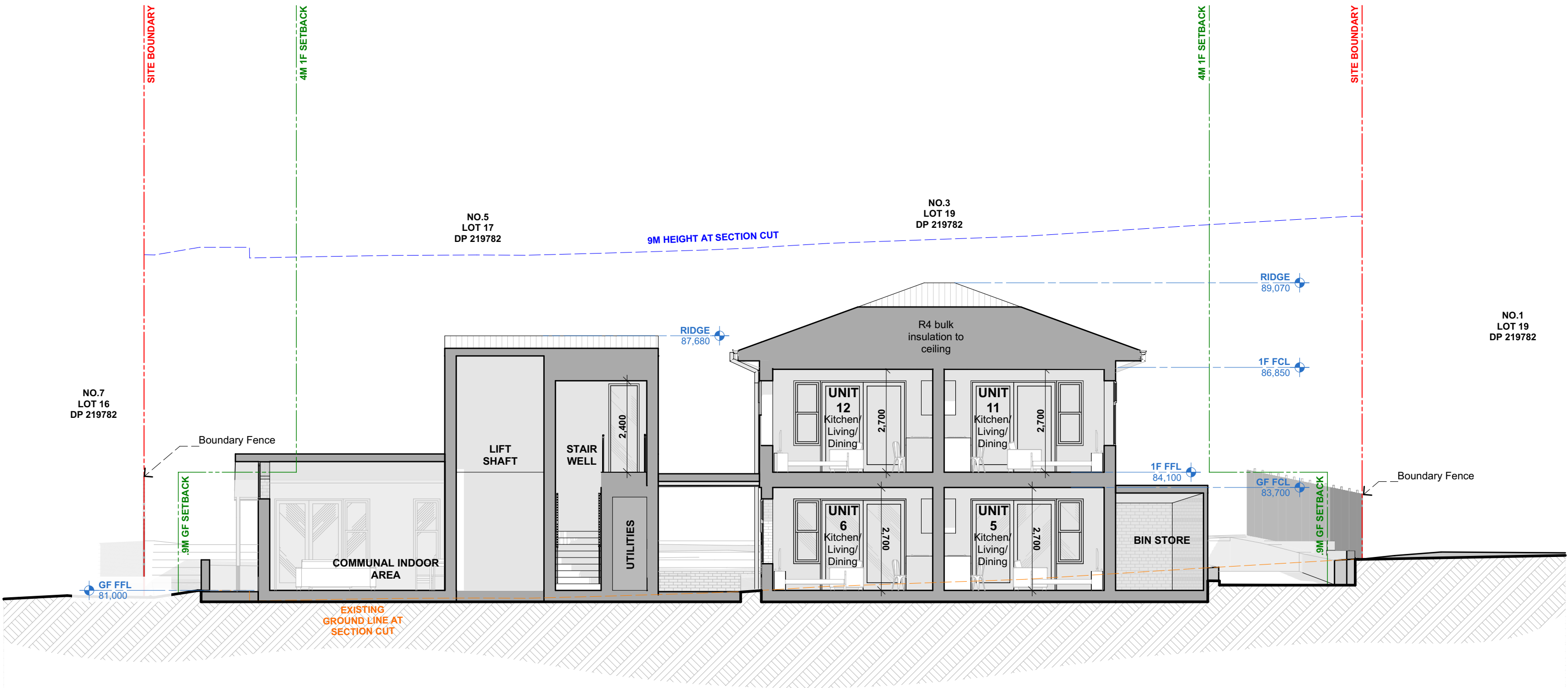
PROJECT NO.
BGX6L

STAGE
AA


DRAWING NO.
A301

REV
01

DRAWING TITLE
SECTION (LONG)



PLANNING APPROVAL

	LOCKED BAG 5022 PARRAMATTA NSW 2124 PHONE: 1800 738 718 WEBSITE: https://www.dpie.nsw.gov.au/land-and-housing-corporation	DESCRIPTION Part 5 submission	REV 01	APP'D SC	DATE 8/12/2022
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CLIENT
LAND & HOUSING CORPORATION (LAHC)
PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782


NORTH POINT

SCALE @ A3 1:100	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A302	REV 01
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DRAWING TITLE
SECTION (CROSS 01)



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LOCKED BAG 5022
PARRAMATTANSW 2124
PHONE: 1800 738 718
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DESCRIPTION	REV	APP'D	DATE
Part 5 submission	01	SC	8/12/2022

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CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

NORTH POINT

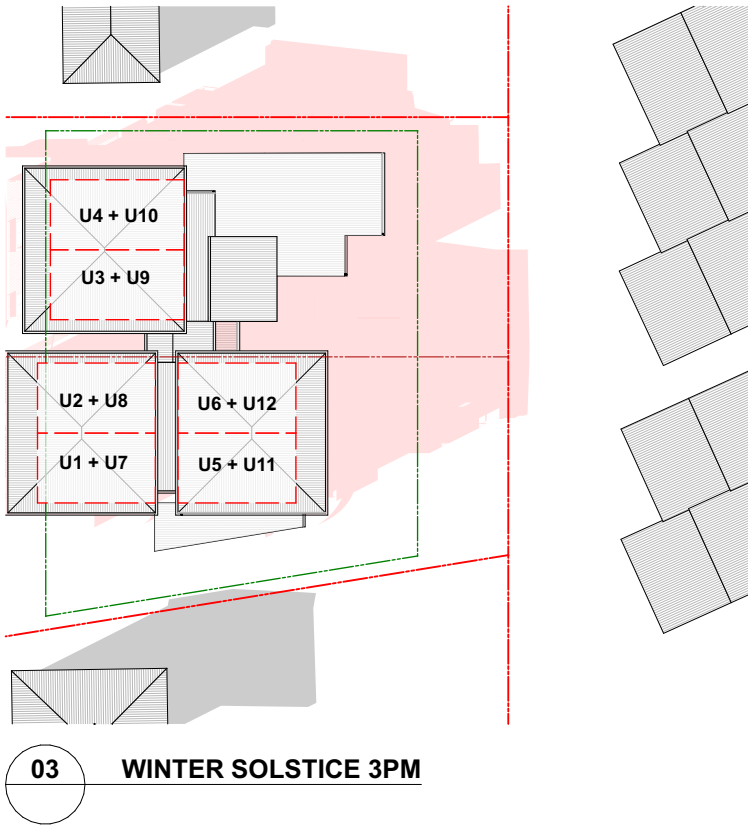
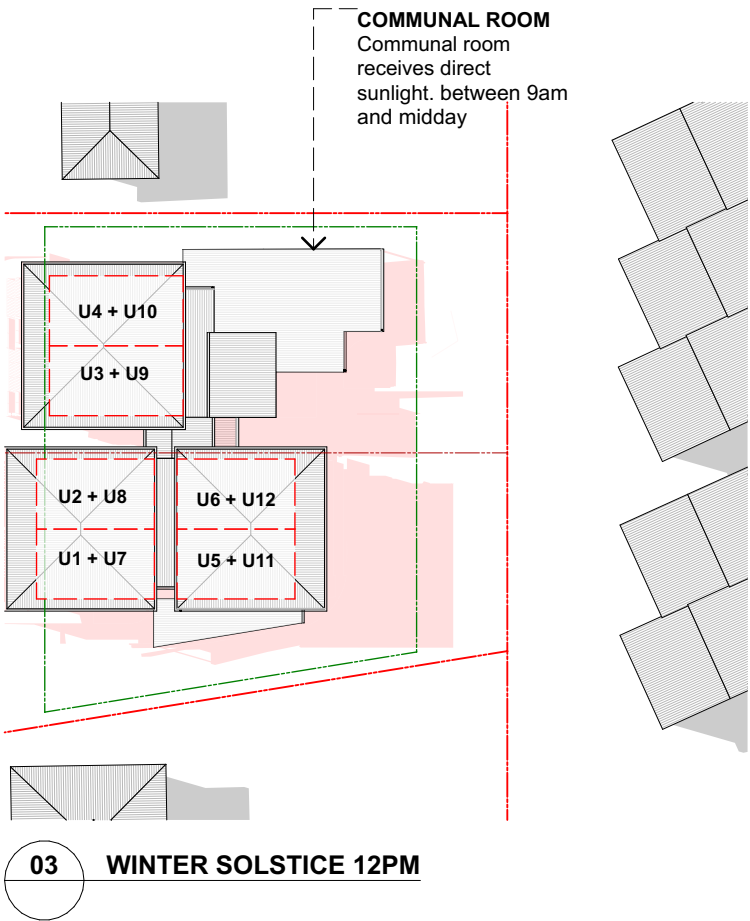
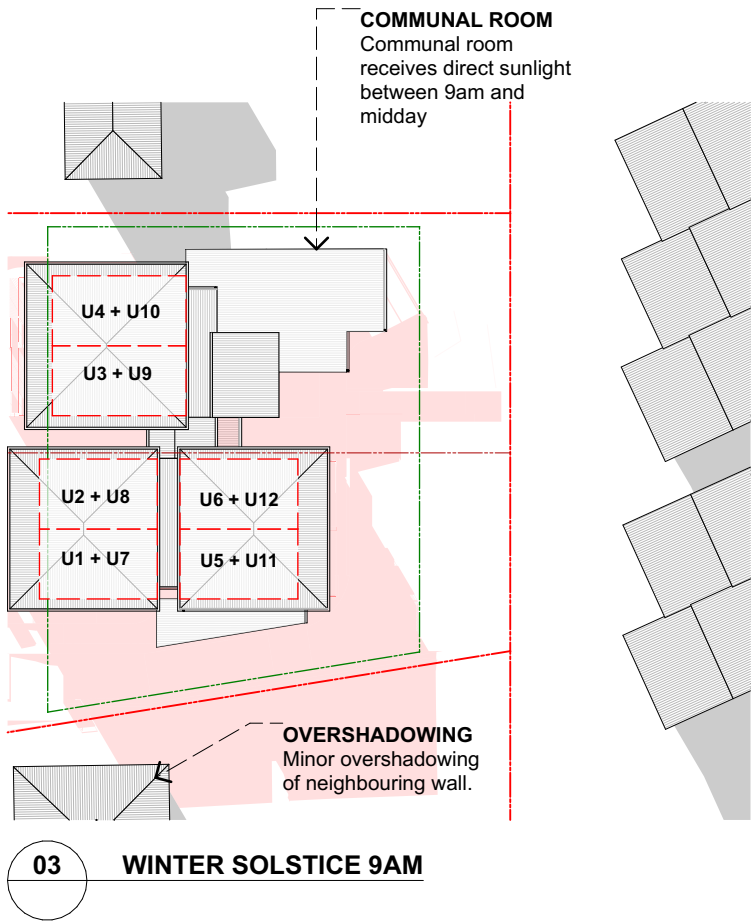
LOT 17/ DP 219782
LOT 18/ DP 219782

PLANNING APPROVAL

SCALE @ A3 1:100	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A303	REV 01
DRAWING TITLE SECTION (CROSS 02)				



SOLAR ACCESS REQUIREMENTS	
Req: 70% (9 units) to have a minimum of 3 hours of sunlight to the living spaces between 9am and 3pm on the winter solstice.	
UNIT	COMPLIANT
U1	YES
U2	YES
U3	YES
U4	YES
U5	NO
U6	NO
U7	YES
U8	YES
U9	YES
U10	YES
U11	NO
U12	NO



LEGEND

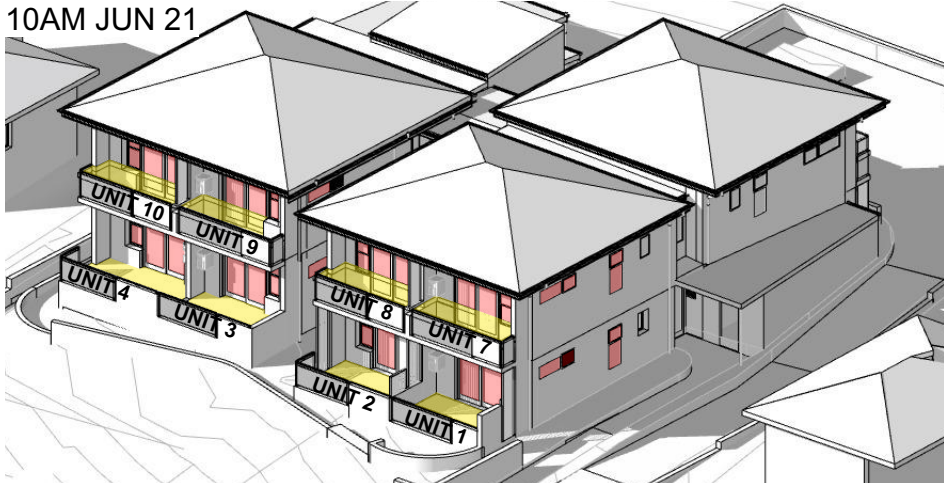
- SHADOWS CAST BE NEIGHBOURS
- SHADOWS CAST BY PROPOSED DWELLING



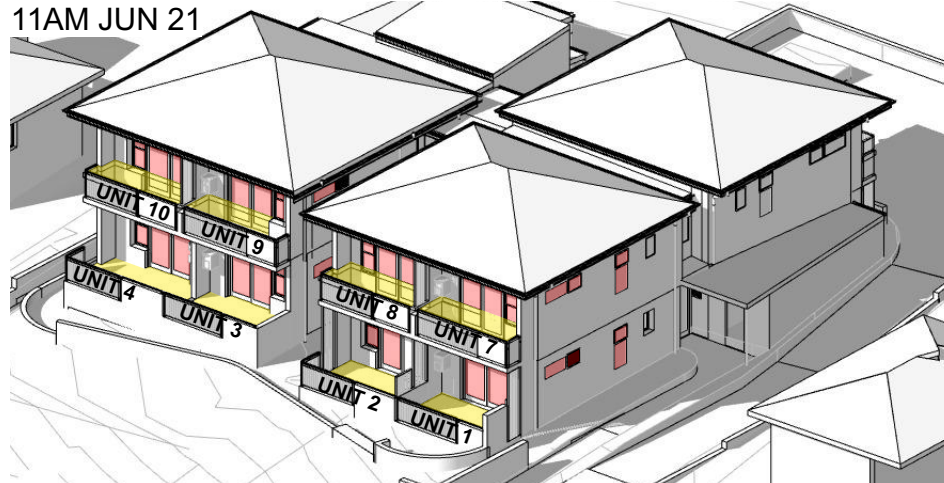
PLANNING APPROVAL



UNIT 1: POS: **YES** LIVING: **NO**
UNIT 2: POS: **YES** LIVING: **NO**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **NO**
UNIT 10: POS: **YES** LIVING: **YES**



UNIT 1: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**



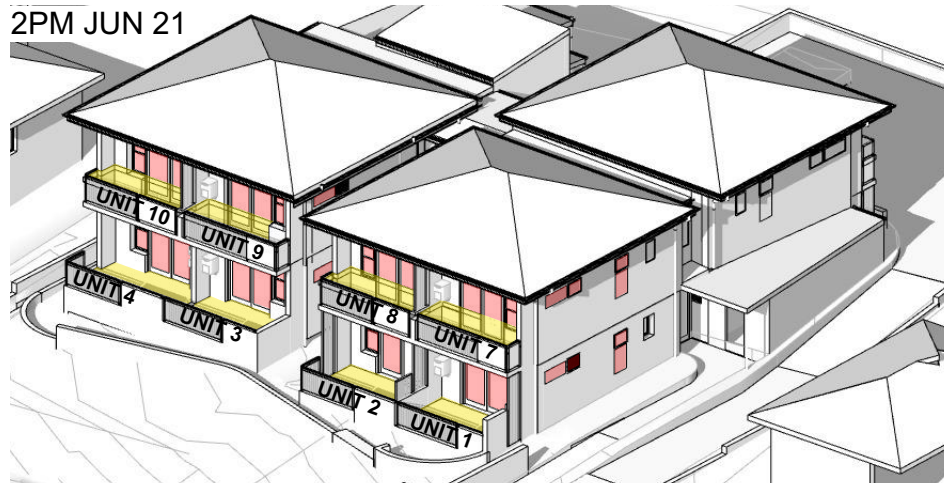
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UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**



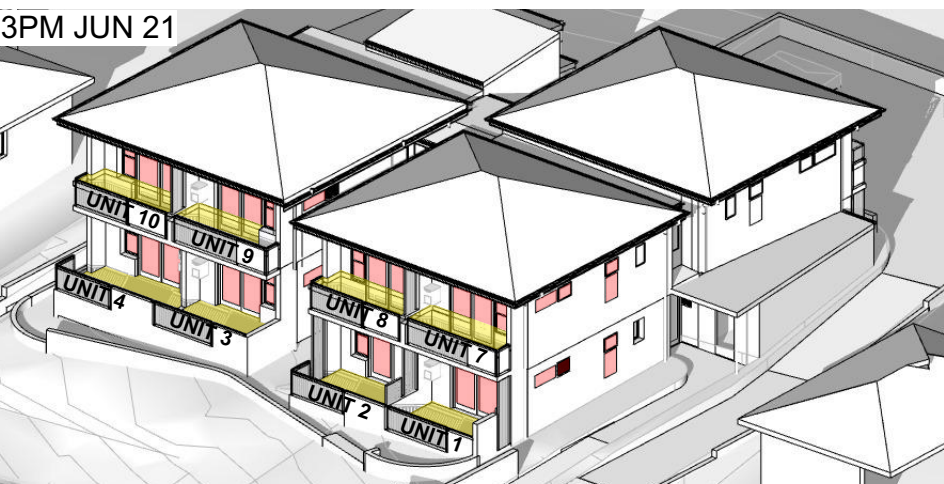
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UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**



UNIT 1: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**



UNIT 1: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**



UNIT 1: POS: **YES** LIVING: **YES**
UNIT 2: POS: **YES** LIVING: **YES**
UNIT 3: POS: **YES** LIVING: **YES**
UNIT 4: POS: **YES** LIVING: **YES**
UNIT 7: POS: **YES** LIVING: **YES**
UNIT 8: POS: **YES** LIVING: **YES**
UNIT 9: POS: **YES** LIVING: **YES**
UNIT 10: POS: **YES** LIVING: **YES**

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

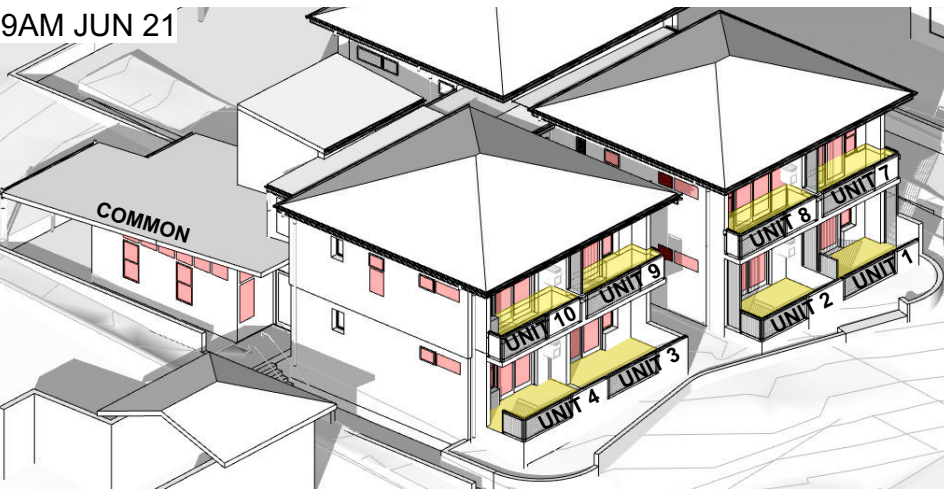
UNIT 1:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 2:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 3:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 4:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 5:	<i>Not assessed from this angle.</i>		
UNIT 6:	<i>Not assessed from this angle.</i>		
UNIT 7:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 8:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 9:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 10:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 11:	<i>Not assessed from this angle.</i>		
UNIT 12:	<i>Not assessed from this angle.</i>		

TOTAL COMPLYING: 8 OUT OF 12 UNITS

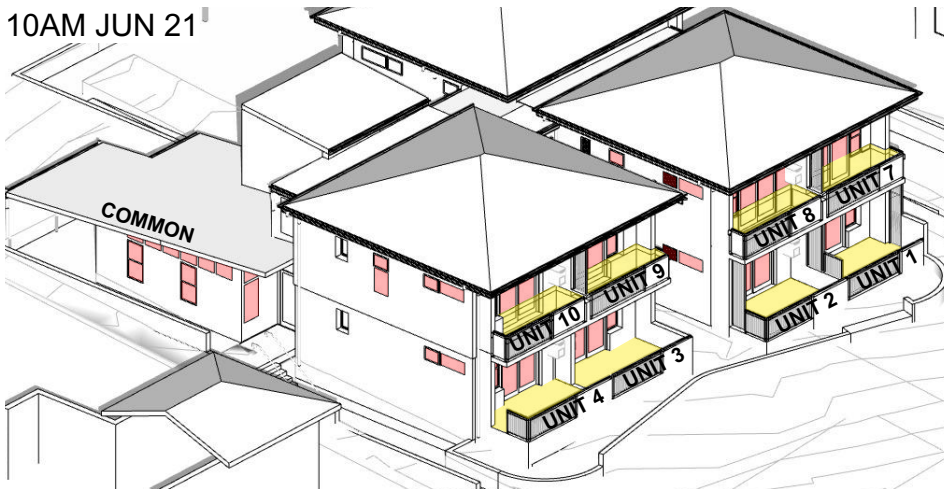
- LEGEND
- PRIVATE OPEN SPACES
 - GLAZING TO LIVING ROOM



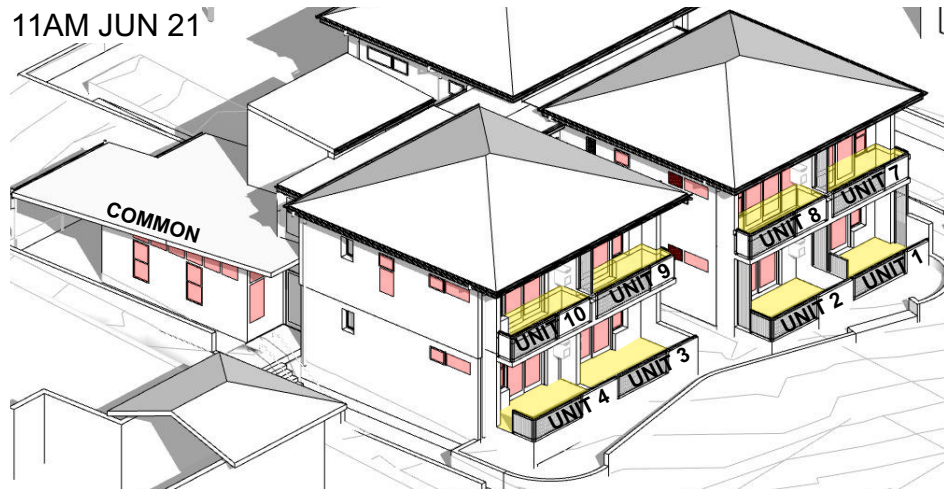
PLANNING APPROVAL



UNIT 1: POS: YES LIVING: NO UNIT 7: POS: YES LIVING: YES
UNIT 2: POS: YES LIVING: NO UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: NO
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES



UNIT 1: POS: YES LIVING: YES UNIT 7: POS: YES LIVING: YES
UNIT 2: POS: YES LIVING: YES UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: YES
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES



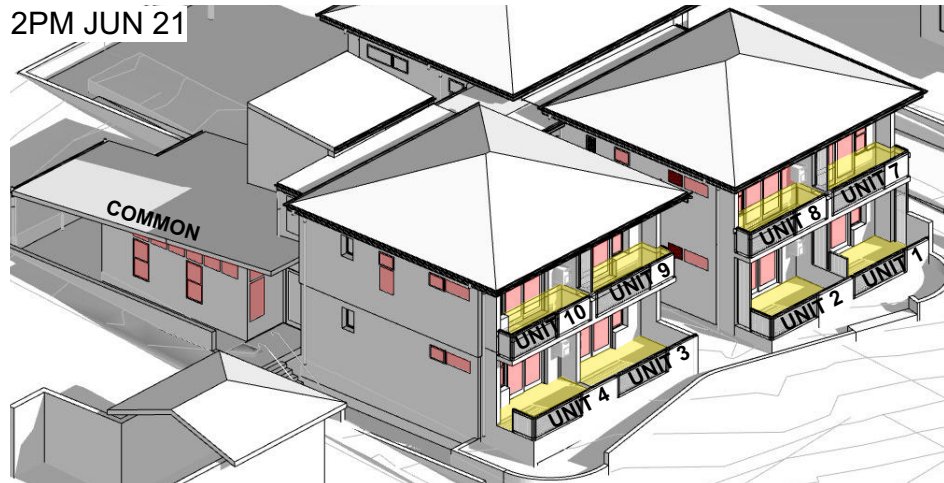
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UNIT 2: POS: YES LIVING: YES UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: YES
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES



UNIT 1: POS: YES LIVING: YES UNIT 7: POS: YES LIVING: YES
UNIT 2: POS: YES LIVING: YES UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: YES
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES



UNIT 1: POS: YES LIVING: YES UNIT 7: POS: YES LIVING: YES
UNIT 2: POS: YES LIVING: YES UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: YES
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES



UNIT 1: POS: YES LIVING: YES UNIT 7: POS: YES LIVING: YES
UNIT 2: POS: YES LIVING: YES UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: YES
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES



UNIT 1: POS: YES LIVING: YES UNIT 7: POS: YES LIVING: YES
UNIT 2: POS: YES LIVING: YES UNIT 8: POS: YES LIVING: YES
UNIT 3: POS: YES LIVING: YES UNIT 9: POS: YES LIVING: YES
UNIT 4: POS: YES LIVING: YES UNIT 10: POS: YES LIVING: YES

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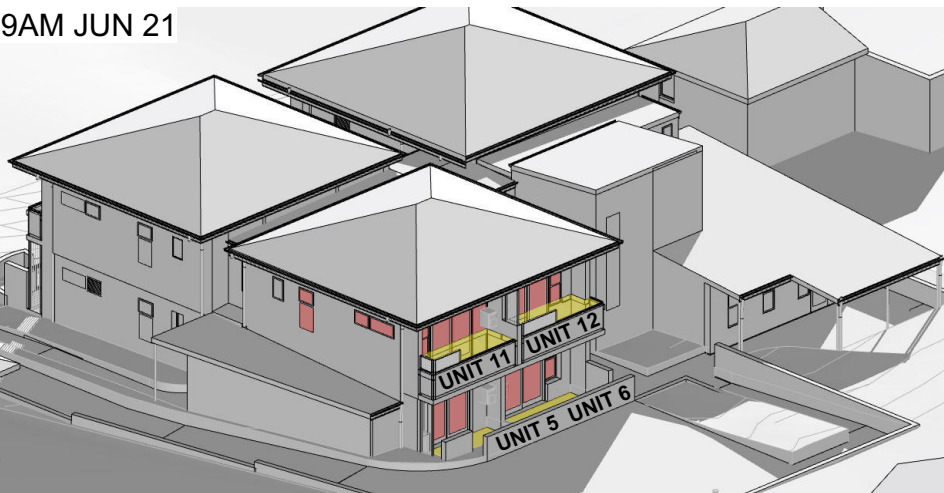
UNIT 1:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 2:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 3:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 4:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 5:	Not assessed from this angle.		
UNIT 6:	Not assessed from this angle.		
UNIT 7:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 8:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 9:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 10:	3HR minimum (9AM-3PM) Midwinter	POS: YES	LIVING: YES
UNIT 11:	Not assessed from this angle.		
UNIT 12:	Not assessed from this angle.		
COMMON:	3HR minimum (9AM-3PM) Midwinter	Y/N: YES	

TOTAL COMPLYING: 8 OUT OF 12 UNITS

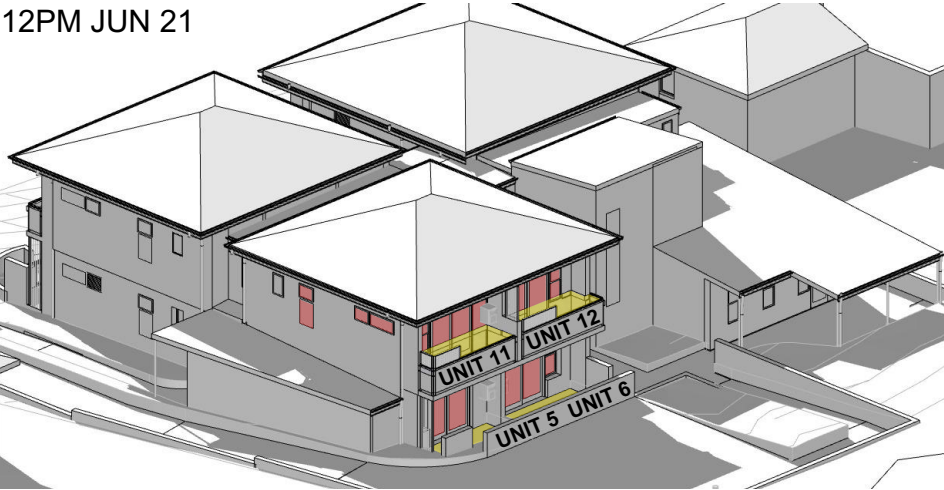
- LEGEND
- PRIVATE OPEN SPACES
 - GLAZING TO LIVING ROOM



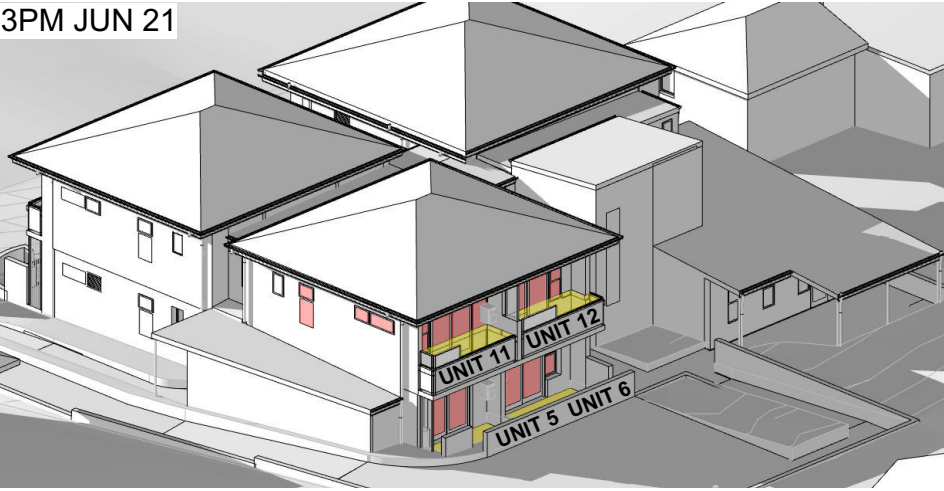
PLANNING APPROVAL



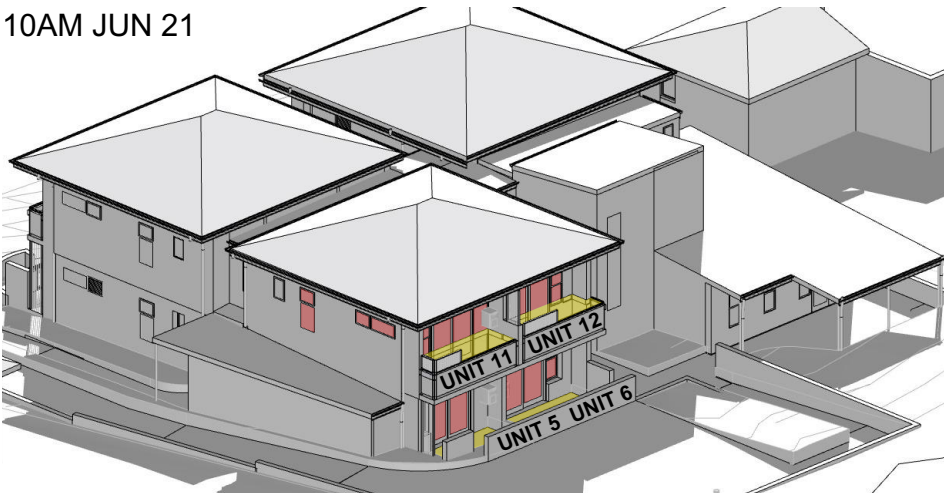
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UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



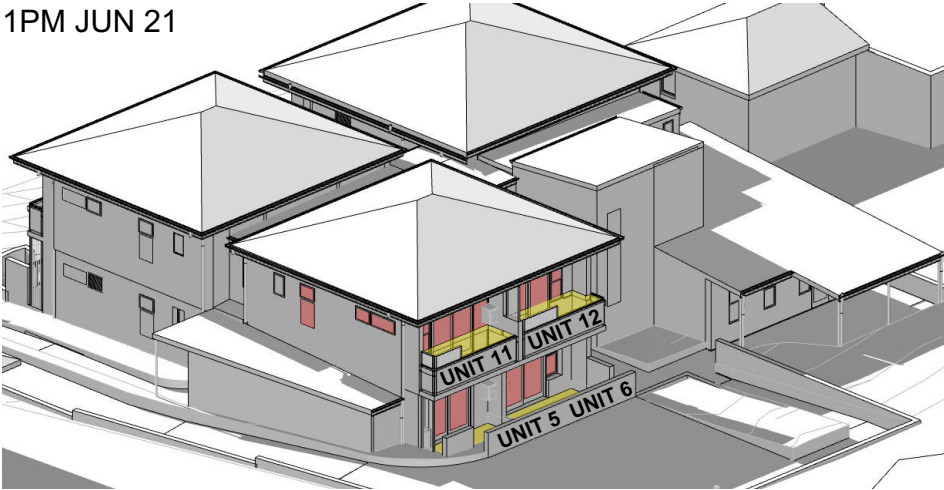
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UNIT 12: POS: NO LIVING: NO



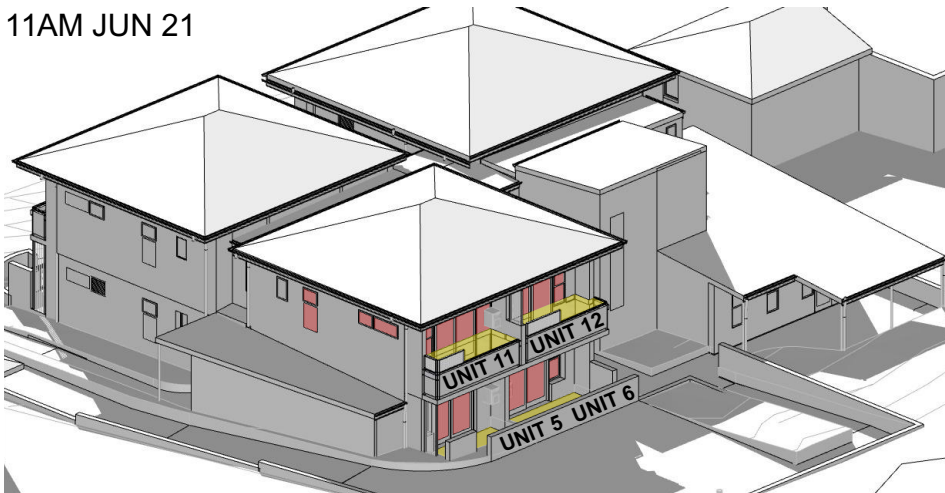
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UNIT 11: POS: NO LIVING: YES
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

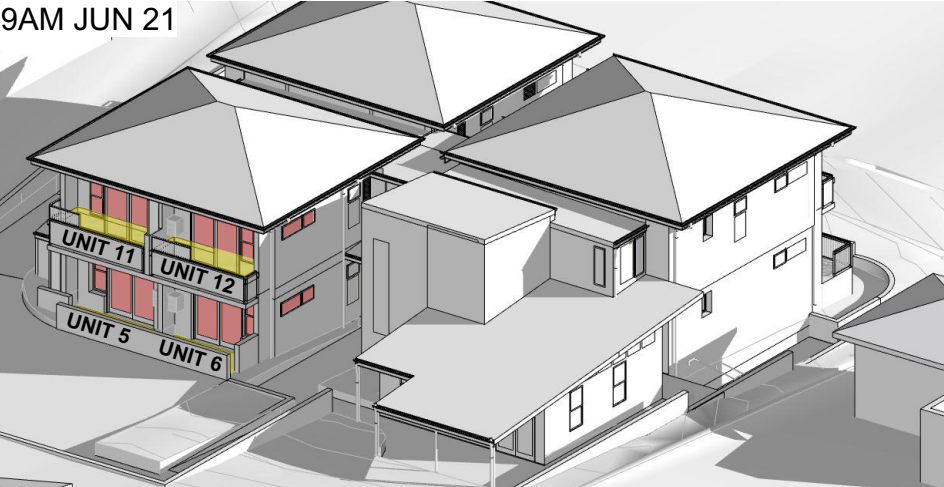
- UNIT 1: *Not assessed from this angle.*
UNIT 2: *Not assessed from this angle.*
UNIT 3: *Not assessed from this angle.*
UNIT 4: *Not assessed from this angle.*
UNIT 5: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 6: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 7: *Not assessed from this angle.*
UNIT 8: *Not assessed from this angle.*
UNIT 9: *Not assessed from this angle.*
UNIT 10: *Not assessed from this angle.*
UNIT 11: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 12: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO

TOTAL COMPLYING: 8 OUT OF 12 UNITS

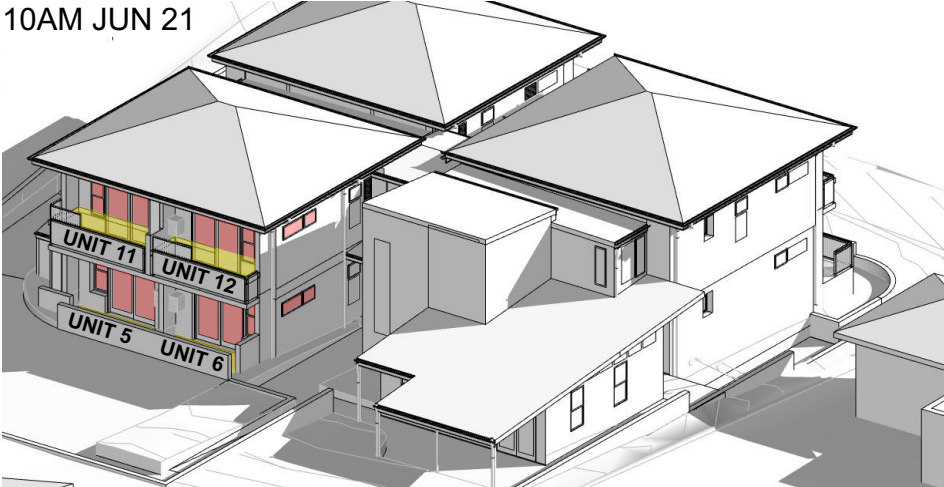
- LEGEND
- PRIVATE OPEN SPACES
 - GLAZING TO LIVING ROOM



PLANNING APPROVAL



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



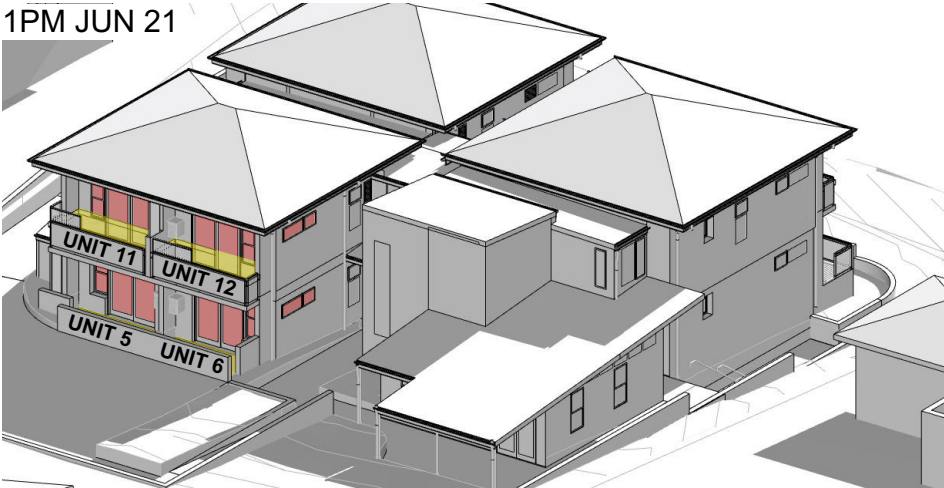
UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: NO
UNIT 12: POS: NO LIVING: NO



UNIT 5: POS: NO LIVING: NO
UNIT 6: POS: NO LIVING: NO
UNIT 11: POS: NO LIVING: YES
UNIT 12: POS: NO LIVING: NO

SENIORS LIVING URBAN DESIGN GUIDE OBJECTIVE 5

- UNIT 1: *Not assessed from this angle.*
UNIT 2: *Not assessed from this angle.*
UNIT 3: *Not assessed from this angle.*
UNIT 4: *Not assessed from this angle.*
UNIT 5: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 6: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 7: *Not assessed from this angle.*
UNIT 8: *Not assessed from this angle.*
UNIT 9: *Not assessed from this angle.*
UNIT 10: *Not assessed from this angle.*
UNIT 11: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO
UNIT 12: 3HR minimum (9AM-3PM) Midwinter POS: NO LIVING: NO

TOTAL COMPLYING: 8 OUT OF 12 UNITS

- LEGEND
- PRIVATE OPEN SPACES
 - GLAZING TO LIVING ROOM



PLANNING APPROVAL



BAL-01
Metal Balustrade in 'Shale Grey'
finish



BK-01
PGH Smooth - Black & Tan



BK-02
PGH Botanicals - Juniper



RF-01
Lysaght custom orb 0.48 BMT in 'Shale
Grey'. Steel Columns, Fascia, Gutter,
Downpipe to be in 'Shale Grey'



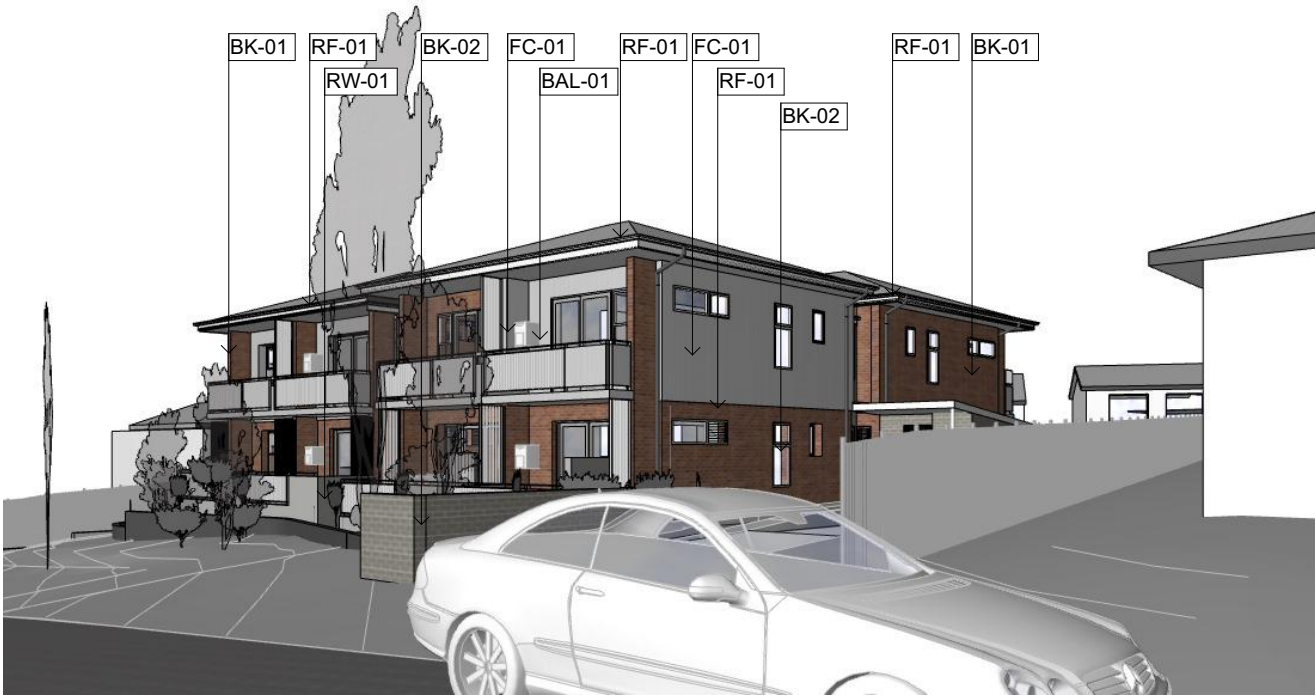
FC-01
James Hardie Axon Cladding -
Smooth 133



FC-02
FC sheeting painted to match
FC-01



RW-01
Concrete Blockwork Retaining
Wall with rendered finish



03 Driveway/entry



02 Communal indoor/outdoor



01 Street perspective 2

PLANNING APPROVAL



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE: 1800 738 718
WEBSITE: <https://www.dpie.nsw.gov.au/>

DESCRIPTION	REV	APP'D	DATE
Part 5 submission	01	SC	8/12/2022

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ACN 165 409 567 Nominated Architect Sam Crawford 6498

CLIENT
LAND & HOUSING CORPORATION (LAHC)

PROJECT
CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT

SCALE @ A3
N.T.S.

PROJECT NO.
BGX6L

STAGE
AA

DRAWING NO.
A501


REV
01

DRAWING TITLE
MATERIAL SCHEDULE





PLANNING APPROVAL



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land-and-housing-corporation

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CAMDEN BOARDING HOUSE
3-5 KELLOWAY AVENUE CAMDEN NSW 2570 - DHARAWAL COUNTRY

LOT 17/ DP 219782
LOT 18/ DP 219782

NORTH POINT

SCALE @ A3 N.T.S.	PROJECT NO. BGX6L	STAGE AA	DRAWING NO. A601	REV 01
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DRAWING TITLE
PHOTOMONTAGE